

Existing Front Elevation

Existing Rear Elevation

Existing Side Elevation (South)

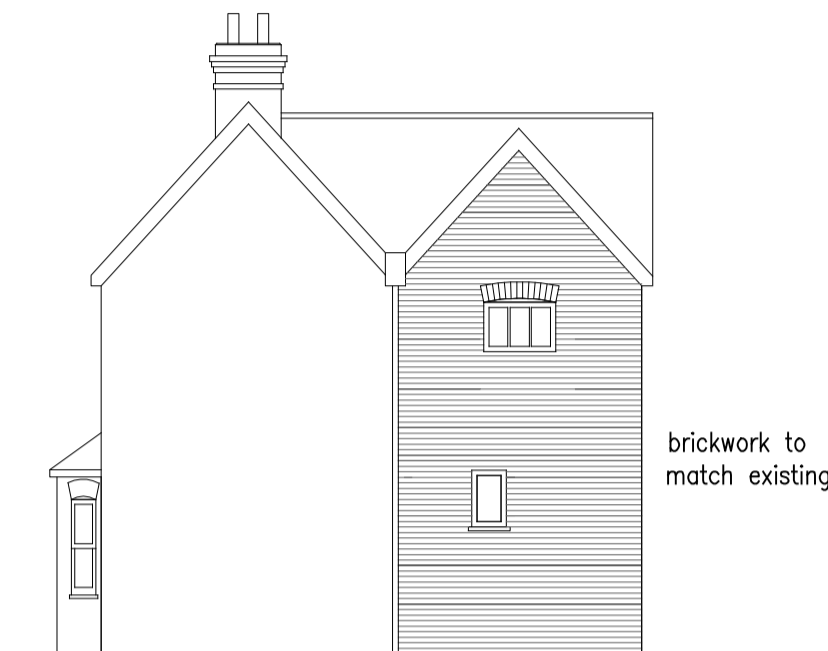
Existing Side Elevation (North)



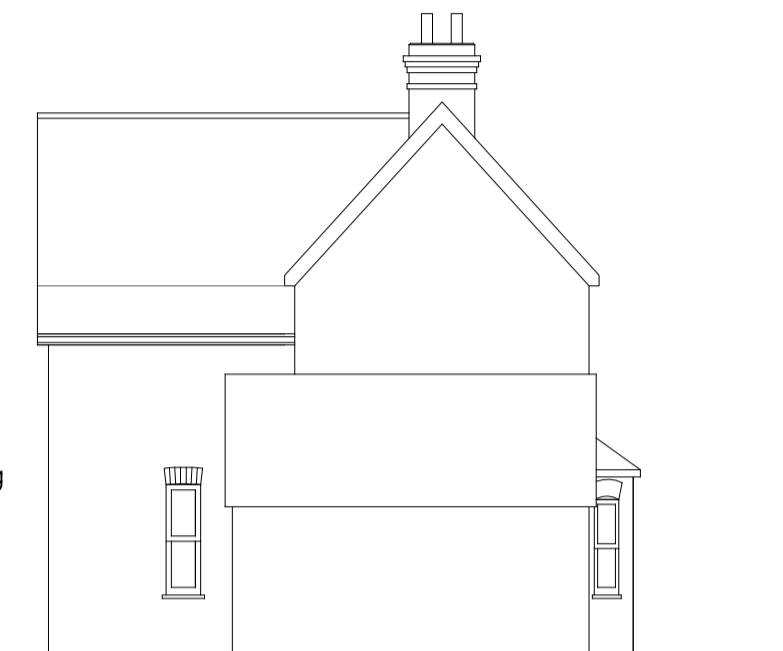
Proposed Front Elevation



Proposed Rear Elevation



Proposed Side Elevation (South)



Proposed Side Elevation (North)

GENERAL

- The Contractor is to acquaint himself with the Planning Approvals before starting work.
- Where approval of materials by the Local Authority is a condition of the Planning Consent, samples must be supplied to the relevant Office for approval in writing before the relevant works are commenced.
- The Contractor is to ensure that all Building Regulation Conditions have been discharged before work starts.
- Building Control should be notified not less than 48 hours before Commencement of the Works. Failure to notify Building Control may result in the Local Authority fining the Contractor.
- The Contractor is responsible for taking and checking all levels, dimensions, etc., prior to ordering materials and starting work.
- All work (materials used for the works) is to be in accordance with the requirements of the Local Authority, current Building Regulations, British Standards and the British Standard Code of Practice, the Construction Products Directive (89/106/EEC), European Standards and Technical Approvals and the recommendations or publications of recognised institutes or trade associations, even where these supersede those shown on the drawing or in these notes.
- Where proprietary materials are specified, they are to be used in strict accordance with the manufacturer's detailed recommendations.
- This drawing is to be used only for the purpose intended and described in the title panel.
- This drawing is not a 'working drawing' and further consideration may have to be given to construction details.

HEALTH AND SAFETY

- The Construction (Design and Management) Regulations 1994 do not apply to this project other than clauses 7 and 13. As such, the Contractor must notify the H.S.E. on form F10 prior to commencement of works.
- The Contractor must comply with all current Health and Safety legislations and with the following Health and Safety Executive approved Codes of Practice:
 - Management of Health and Safety at Work
 - Managing Construction for Health and Safety

FOUL DRAINAGE UNDERGROUND

- Existing foul and surface water drainage must be investigated and confirmed on site prior to start of works. It is recommended that the existing manholes and drain runs are checked, rodded through and cleaned as part of the works.
- Foul drains to be run in Supersleve vitrified clay pipes, manufactured by Hepworth Building Products Ltd, in accordance with BS 65: 1991 and with flexible push-fit joints. Pipes to be bedded and surrounded in granular fill and laid in accordance with the manufacturer's instructions.
- All pipes to be laid as indicated on the drainage layout plan in straight lines with relevant fittings and in accordance with Building Regulation Approved Document, Part H.
- The new drains are to be connected to the existing drainage system at the inspection chamber marked on drawing.
- The outfall of the drains is to the existing main foul drain.
- UPVC inspection chambers and covers to be in accordance with relevant British Standard and bedded and surrounded in accordance with manufacturer's instructions.
- Any drain passing through a wall is to be suitably sleeved leaving a minimum 50 mm gap around the pipe. The sleeve to be of suitable material to support the wall above. Alternatively, the pipe is to be protected by a reinforced concrete lintel (not prestressed if below ground level). Lintel to be positioned minimum 50 mm above top of pipe. Suitable backfilling to be carried out to prevent rodents entering the cavity and the building. Lintels over drains below ground to be of a type and construction for that use.
- Drains under building to be encased in concrete and reinforced, dependent on the depth of the drain. Where drains under building are encased in concrete, a movement joint is to be formed with a compressible board at each joint.
- All pipes at head of drain to enter inspection chamber at back and connect to straight channel at channel level.
- Any slippers and bends used to be approved type and allow drain to be rodable for cleaning.
- Gullies to be built in type suitably sited and where required rodable type.
- Internal gullies to be fitted screw-down, air-tight covers and frames.
- All drainage pipes, gullies and inspection chamber to withstand an air or water test to the satisfaction of the Local Authority.
- Drains to be thoroughly cleaned through on completion of works.
- Building Control should be notified not less than 48 hours before any drainage is covered and after drains are completed.

EXTERNAL WALLS

- All masonry work to comply with BS 5628: Part 3: 1985 Code of Practice for Use of Masonry.
- Cavity wall construction is to match existing wall construction. Type of cavity infill and type of blockwork depends on the width of existing cavity:
 - If the existing cavity is between 75mm and 90mm wide, then provide the following wall construction:
 - 102mm facing brick outer leaf to match the existing
 - 75mm cavity fully filled with Dritherm 32 insulation
 - 100mm Thermalite Turbo
 - If the existing cavity is 90mm wide or greater, then provide the following wall construction:
 - 102mm facing brick outer leaf to match the existing
 - 90mm cavity fully filled with Dritherm insulation
 - 100mm Thermalite Shield
- Tie two skins of masonry together with stainless steel wall ties to BS1243:1978 at 600mm centres horizontally (to correspond with joints in insulating panels, providing mid span support) and 450mm vertically. Provide additional ties at jambs, openings, abutments and expansion joints.
- Walls below ground to be built in semi-engineering brickwork of 7.0 N/mm² blockwork.
- Mortar mix to be in accordance with BS 5628: Part 1: 1978.
- Cavity to extend minimum 150 mm below damp-proof course and floor level.
- New walls to be attached to existing masonry walls with stainless steel profiles, Firfix or similar, where appropriate. Care must be taken to ensure that the cavity is continuous and that no cold or damp bridging remains. Ensure new and existing DPC's are adequately lapped. Similarly, ensure that new and existing DPM's are adequately lapped and sealed.
- Damp-proof course to be provided at floor level minimum 150 mm above ground or paving level. All damp-proof courses to be laid/fix'd in accordance with manufacturer's instructions.
- Reveals to be closed with Thermabate, or other approved, cavity closers in accordance with manufacturer's instructions.
- Damp-proof trays to be provided over any obstruction or closure in cavity wall, i.e. ducts, meter boxes.
- All walls to be finished internally with lightweight plaster or 9.5 mm plasterboard on dabs.
- Maximum U value of external walls to be 0.3W/m²K.

INTERNAL WALLS

- Non-loadbearing walls to be 50x100/75mm soft wood studwork packed with mineral wool insulation (to comply with Approved Document E) with density of 10kg/m² and finished with 12.5mm 'wallboard 10' (10kg/m²) and 1 coat plaster skin.
- Walls to be tied into the external walls.

SURFACE WATER DRAINAGE

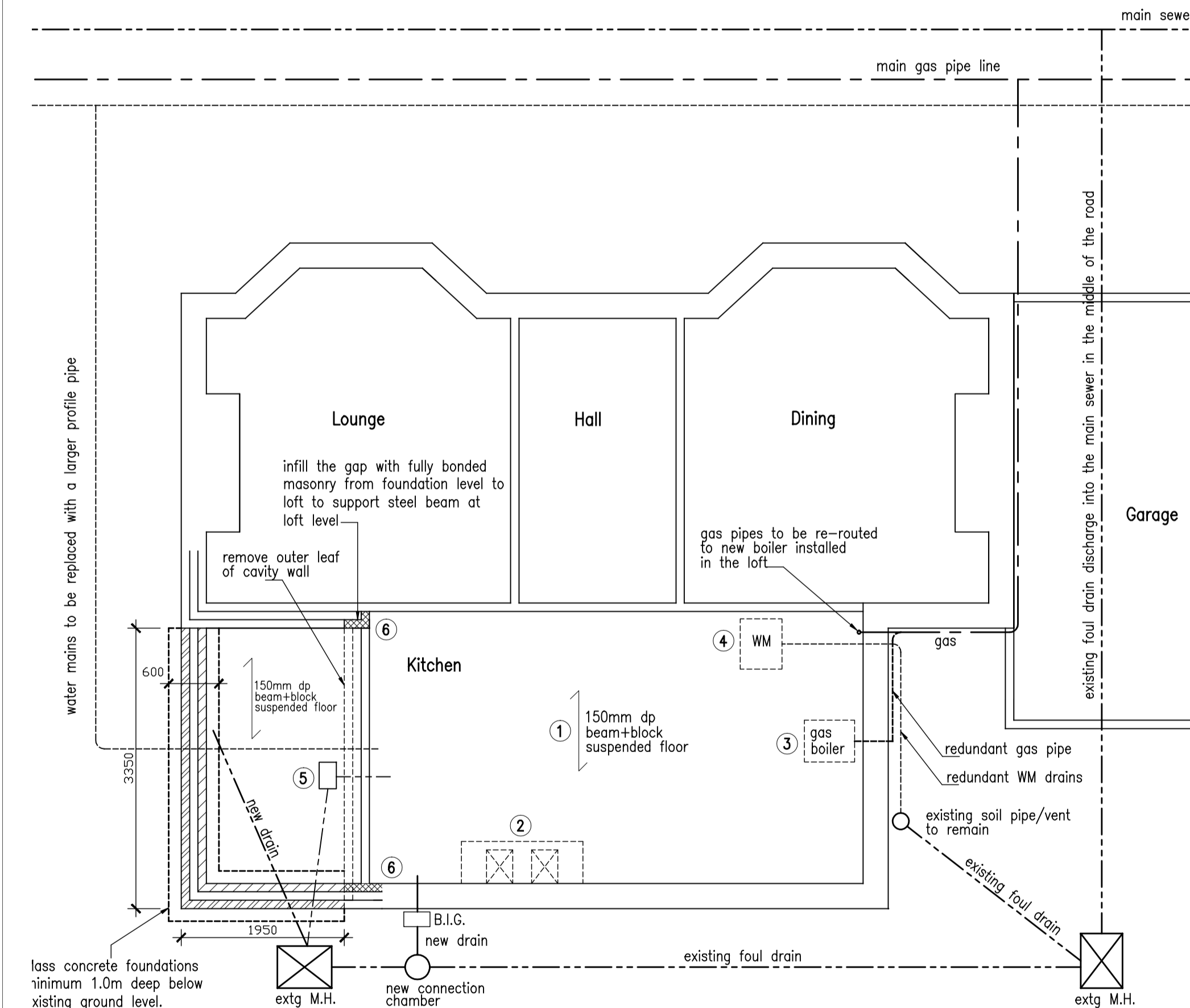
- Run-offs to be collected in minimum 100 mm PVC gutters fixed to fascia and laid to fall.
- Gutters to discharge into min 65 mm diameter downpipes with rodable shoes at base. Sizes to be calculated in accordance with manufacturer's recommendations.
- Connect rainwater downpipes to 100 mm Supersleve pipes laid to fall and surrounded in shingle to existing storm drains. Pipes to withstand water or air test.
- Building Control should be notified not less than 48 hours before any drainage is covered and after the drains are completed.

FOUNDATIONS

- The following notes are for guidance only. The final depth, width and thickness of foundations to be subject to ground conditions found on site.
- Foundation details to be agreed with Local Authority Building Inspector on site.
- Foundation excavations to be taken down to a minimum depth 1000 mm below ground level with the minimum width of 600mm or to suit site conditions to BS 8004: 1986.
- Any steps formed in foundations should have a minimum lap of twice the height of the step or thickness of the foundation concrete or 300mm whichever is the greater.
- All internal loadbearing walls to be built off concrete strip foundations constructed independently of floor slab.
- Where the drains cross the foundations, the foundations are to be taken to a depth to avoid any load being imposed on the drains.
- The foundation trench above the foundations to be backfilled internally with well compacted hardcore.

GROUND FLOOR SLAB

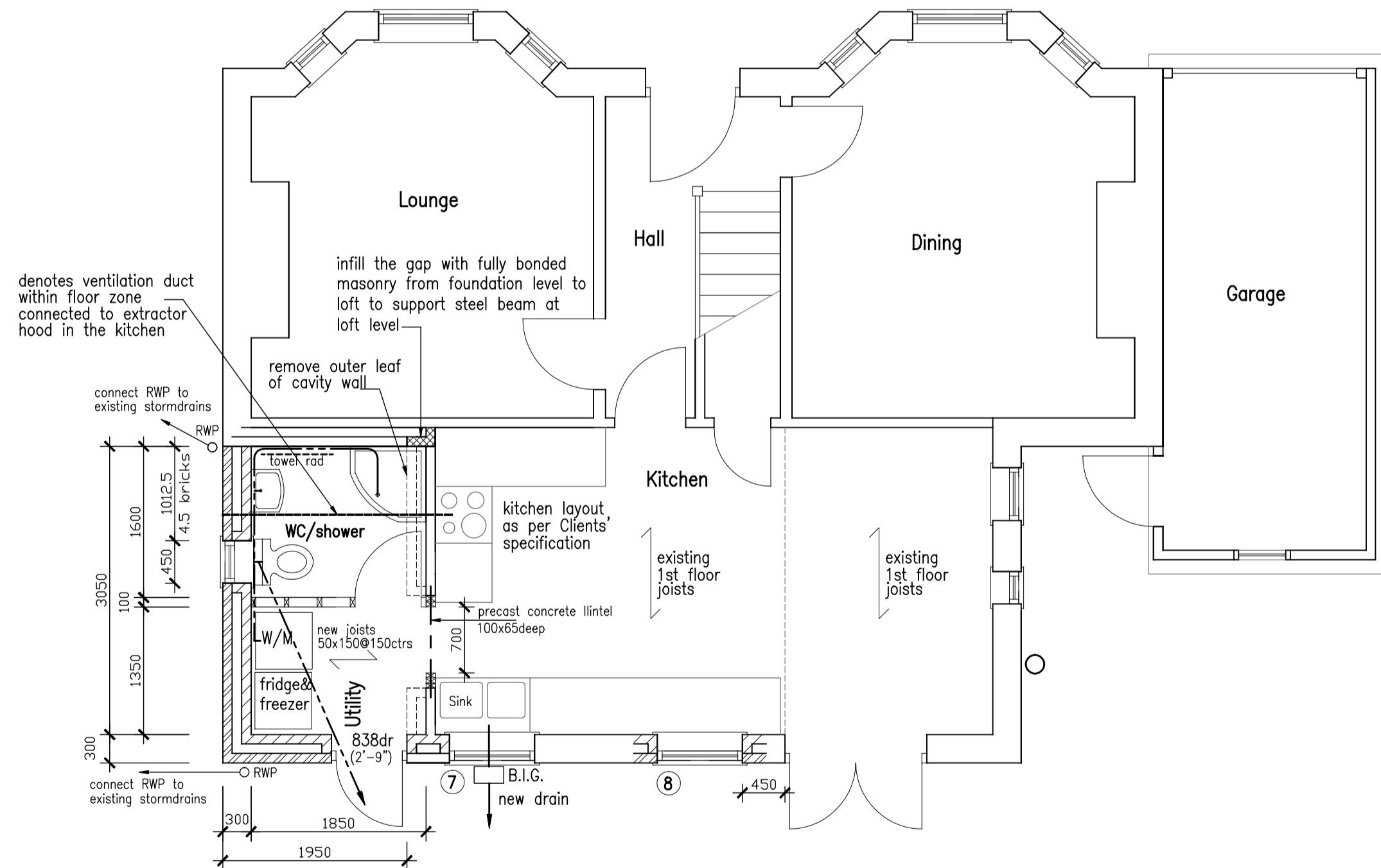
- All vegetable matter to be removed from the area of the site covered by the building.
- Any sub-soil drainage encountered during excavation of the building to be re-laid, re-routed or diverted as necessary.
- Ground floor slab to be 150mm deep proprietary beam and block suspended flooring system designed and supplied by specialist. Hyload dpc's required at bearing points and floor to be stabilised with cement slurry. Minimum 150mm deep air space to be provided below floor with proprietary plastic void vents at 2000mm centres to external walls below dpc. Interior ground to be free from vegetable matter dressed to falls and treated with weed killer. Durox Floor Blocks to be used to beam and block floor system.
- Floor finish to be 75mm screed on top of 75mm Celotex GA3075 on top of polythene vapour barrier.
- Flooring to be as per Clients specification. It is to be laid strictly in accordance with manufacturer's recommendations and to match level of the existing flooring in adjacent rooms.
- Minimum U value U=0.22W/m²K



Proposed Foundation Plan

showing demolition, removal of existing services, proposed new foundations, suspended slab and drains

- Remove existing suspended timber floor and replace it with 150mm deep suspended concrete beam+block system. Floor finish to be 75mm screed with underfloor heating on top of 75mm Celotex GA3075 on top of polythene vapour barrier.
- existing chimney stack to be completely removed and inner skin of cavity wall to be made good
- infill the opening in first floor with timber joists to match existing floor
- existing gas boiler to be removed and replaced with a new gas boiler installed in the loft
- existing WM and water supply/drainage to be removed
- extg. B.I.C. and drains to be made redundant
- re-build from foundation level using fully bonded 3.5N blockwork or engineering bricks class B



Proposed Ground Floor Plan

showing proposed layout and structure at high level

- existing window to be removed and a 'soldier' course of matching brickwork is to be laid to raise existing window sill level in the kitchen by 100mm and reduce total window height by the same amount. All new kitchen and bedroom windows on the rear elevation are to be made the same size and style.
- window opening to match reduced window opening above sink
- all windows on rear and side elevation are to be made to match the style of existing windows
- all new windows are to be double glazed
- use dark brown matching brickwork for arches above windows
- use red brickwork from side elevation for arch and side edge around utility door to match pattern around existing patio door
- remove red bricks above utility door and use dark brown bricks from side elevation to build rear elevation wall

B	Issued for Building Control approval	22.01.10
A	Issued for comments	14.01.10
-	Issued for information	10.12.09
Rev.	Description	Date

Carmichael Consulting

Rosemary Cottage Pound Lane Mannings Heath
Horsham West Sussex RH13 6JL
t: 01403 252784
e: enquiries@carmichaelconsulting.co.uk



Clients

Project
Two storey extension at rear

Drawing Title
**Elevations
Foundation Plan
Ground Floor Plan**

Sheet Size	A1	Date	01/2010
Scale	1:100 1:50	Drawn by	J Carmichael

Drawing No.	022/13	Rev.	B
-------------	--------	------	---